

APPLICATION NO	PA/2018/1619
APPLICANT	Mr & Mrs K Rowbotham
DEVELOPMENT	Planning permission to erect a two-storey extension and detached garage including demolition of an attached outbuilding, detached brick outbuilding and detached garage
LOCATION	61 Main Street, Saxby All Saints, DN20 0PZ
PARISH	Saxby All Saints
WARD	Brigg and Wolds
CASE OFFICER	Mark Niland
SUMMARY RECOMMENDATION	Refuse permission
REASONS FOR REFERENCE TO COMMITTEE	Member 'call in' (Cllr Carl Sherwood – significant public interest)

POLICIES

National Planning Policy Framework:

Paragraph 192 – In determining applications, local planning authorities should take account of:

- a) the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- b) the positive contribution that conservation of heritage assets can make to sustainable communities, including their economic vitality; and
- c) the desirability of new development making a positive contribution to local character and distinctiveness.

Paragraph 193 – When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.

Paragraph 195 – Where a proposed development will lead to substantial harm to (or total loss of significance of) a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or total loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply:

- a) the nature of the heritage asset prevents all reasonable uses of the site; and

- b) no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation; and
- c) conservation by grant-funding or some form of not for profit, charitable or public ownership is demonstrably not possible; and
- d) the harm or loss is outweighed by the benefit of bringing the site back into use.

Paragraph 196 – Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.

Paragraph 197 – The effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that directly or indirectly affect non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.

Paragraph 198 – Local planning authorities should not permit the loss of the whole or part of a heritage asset without taking all reasonable steps to ensure the new development will proceed after the loss has occurred.

Paragraph 200 – Local planning authorities should look for opportunities for new development within Conservation Areas and World Heritage Sites, and within the setting of heritage assets, to enhance or better reveal their significance. Proposals that preserve those elements of the setting that make a positive contribution to the asset (or which better reveal its significance) should be treated favourably.

North Lincolnshire Local Plan: HE2, DS1, DS5.

North Lincolnshire Core Strategy: CS5, CS6.

CONSULTATIONS

Highways: No objections subject to conditions.

Conservation Officer: Recommends refusal of the application given the harm caused to both the dwelling itself and the wider conservation area.

Tree Officer: The tree officer has requested further information.

PARISH COUNCIL

Objects to the proposal on the grounds that it would ‘emasculate’ both the existing cottage and the street scene.

PUBLICITY

The application has been publicised by means of site and press notices.

One letter of objection has been received stating that the proposal would erode the existing character of the period property.

ASSESSMENT

This application was deferred at the last meeting of the planning committee to enable members to visit the site prior to making a decision.

The site is located within the development boundary of Saxby All Saints as identified by the Housing and Land Allocations DPD 2016. The site is located within a conservation area and within an area covered by an article 4 direction. The building is a modest detached cottage that is set back from Main Street. 61 Main Street is identified as a building of townscape merit within the Saxby All Saints Conservation Area Appraisal.

The dwelling is painted in a cream finish which matches other dwellings in the locality. The site rises sharply in an easterly direction along the Wolds scarp. The site is surrounded by residential properties to the north, south and western side. These properties are a mix of older and more modern properties.

Planning permission was granted in 2016 for a two-storey extension at the rear of the property, improvements to the existing dwelling, provision of a hardstanding area and demolition of an existing single-storey lean-to (PA/2016/1572).

This proposal relates to extensions and alteration of the existing dwelling and the assessment will therefore consider the following issues:

- **character impacts**
- **residential amenity**
- **highway safety**
- **trees.**

Character impacts

Policy CS5 of the Core Strategy states that all new development in North Lincolnshire should be well designed and appropriate for its context. It should contribute to creating a sense of place. The council will encourage contemporary design provided that it is appropriate for its location and is informed by its surrounding context. Design which is inappropriate to the local area or fails to maximise opportunities for improving the character and quality of the area will not be acceptable.

Policy CS6 of the Core Strategy states that the council will seek to protect, conserve and enhance North Lincolnshire's historic environment, as well as the character and setting of areas of acknowledged importance including historic buildings, conservation areas, listed buildings (both statutory and locally listed), registered parks and gardens, scheduled ancient monuments and archaeological remains. All new development must respect and enhance the local character and distinctiveness of the area in which it would be situated, particularly in areas with high heritage value.

Policy HE2 of the local plan is concerned with development in conservation areas and it seeks to protect and enhance; all policies are considered relevant.

The applicant proposes a two-storey side extension and a rear extension with detached garage. The conservation officer has been consulted and has recommended refusal. The

proposal would considerably change the character of the site from 'an open naturalistic and rural character to one of a fully built street scape encompassing the whole frontage'. The conservation officer considers the harm to be such that refusal is recommended. The officer also highlights relevant local and national policy that would support a refusal as well as the conservation area appraisal that seeks to protect the identity of Saxby. The building is identified by the conservation area appraisal as being of townscape merit. 61 Main Street, along with other pin-pointed properties shown on the townscape analysis map, have both a group value and a stand-alone value. The appraisal states of buildings of townscape merit:

'Their age and architectural interest is considered to provide justification for them to be given special protection, and the Council will resist their demolition unless the applicant can prove the building is beyond the point of economic repair. Additionally, because these buildings are an important part of the character of the conservation area, the Council will pay special attention to applications for alterations and extensions.'

The amount of built form proposed would obliterate the space about the dwelling that at present contributes to the sense of place of Saxby conservation area. The rhythm of green space/planting in between built form is an identity that gives Saxby a unique conservation area. Furthermore, the dwelling itself would be lost in an abundance of extensions and modifications that would visually double the existing cottage rendering it illegible from its original form. The proposal is therefore not considered a sensitive development and would have wider impacts upon the conservation area.

Paragraph 196 of the National Planning Policy Framework (NPPF) directs that less than substantial harm should also be weighed against the public benefits of the proposal. There are no public benefits arising from this application which can outweigh the harm identified to the conservation area. The proposal is therefore contrary to local policies CS5 and CS6 of the North Lincolnshire Core Strategy, and HE2 of the North Lincolnshire Local Plan, as well as the afore-mentioned paragraphs of the NPPF, and is recommended for refusal.

Residential amenity

Policy DS5 of the North Lincolnshire Local Plan is concerned with residential extensions. It states that planning applications for residential extensions and the erection of garages, outbuildings, walls and other structures will be allowed providing that the proposal does not unreasonably reduce sunlight or daylight, or result in overshadowing, an overbearing impact or loss of privacy to adjacent dwellings. The proposals should also be sympathetic in design, scale and materials to the existing dwelling and its neighbours.

The proposal has a sufficient separation distance from all other dwellings so as not to give rise to any unacceptable overshadowing/overbearing impacts. Furthermore, all openings are located in a position that would not give rise to any unacceptable levels of visual intrusion.

It is therefore considered that the proposal would accord with policy DS5 of the North Lincolnshire Local Plan and, in respect of the assessment upon residential amenity, is considered acceptable.

Highway safety

Policy T2 of the North Lincolnshire Local Plan is concerned with access to development. It states that all developments should be served by a satisfactory access. Policy T19 is concerned with both parking standards and highway safety.

The council's Highways department has been consulted and has no objections to the proposal subject to the imposition of conditions which relate to the laying out of the access and hard area prior to occupation. The applicant seeks to retain the existing access arrangement as well as provide off-street parking provision. It is therefore considered that the proposal is in accordance with policies T2 and T19 of the North Lincolnshire Local Plan and is considered acceptable.

Trees

Policy LC12 of the local plan is concerned with the protection of trees. It states that proposals for all new development will, wherever possible, ensure the retention of trees, woodland and hedgerows. Particular regard will be given to the protection of these features within the setting of settlements, the protection of ancient woodlands and historic hedgerows, and the amenity value of trees within built-up areas.

The tree officer has been consulted and considers that additional information is required. This information has been submitted but no additional comments have been made. The proposed development, including the driveway, is outside the trees' root protection area and this is identified on plan and evidenced upon site visit. A condition showing how root protection areas would be protected during construction would be attached to any permission.

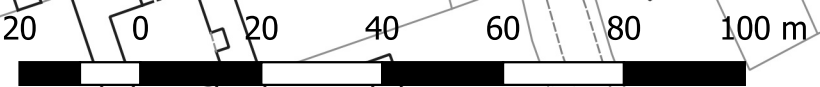
It is therefore considered that the proposal would accord with policy LC12 of the North Lincolnshire Local Plan.

RECOMMENDATION Refuse permission for the following reasons:

The proposed extensions and alterations would result in the loss of legibility of a building of townscape merit by visually doubling the size of the dwelling. Furthermore, the proposal would result in the loss of green space about the dwelling that contributes to the sense of place of Saxby conservation area and would see built form extend across the whole of the plot. The proposal would therefore result in irreversible harm to both the building of townscape merit and the wider conservation area, and would be contrary to policies CS6 of the North Lincolnshire Core Strategy and HE2 of the North Lincolnshire Local Plan.

Informative

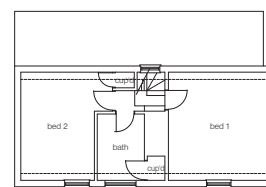
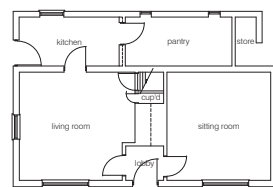
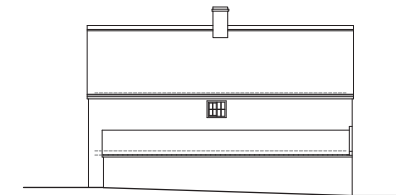
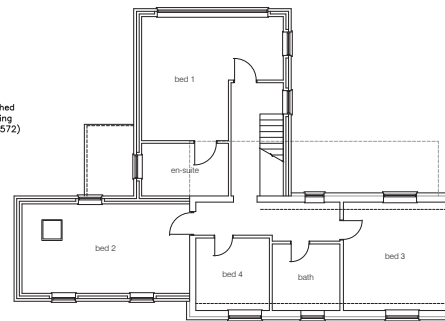
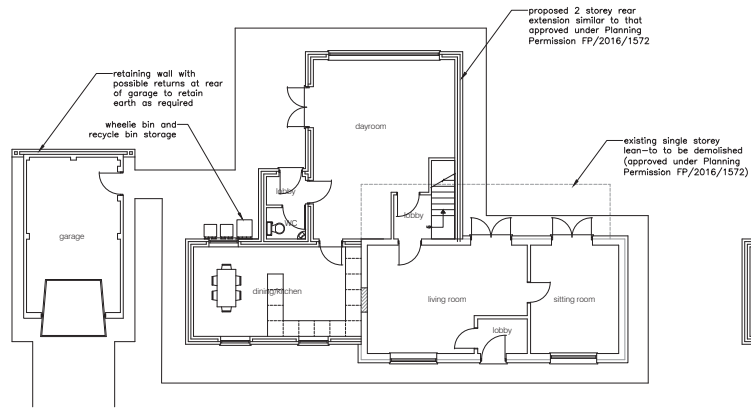
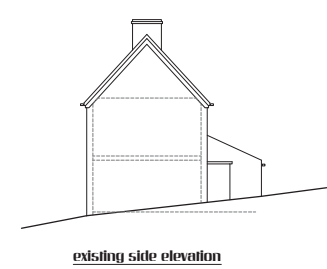
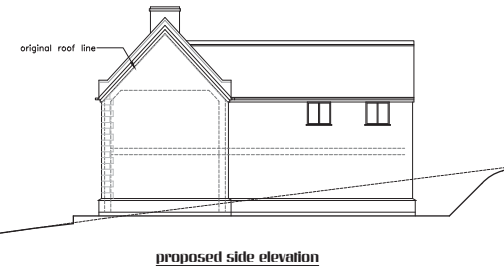
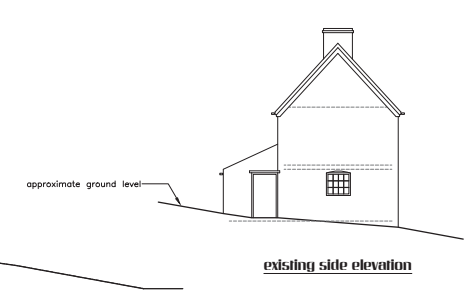
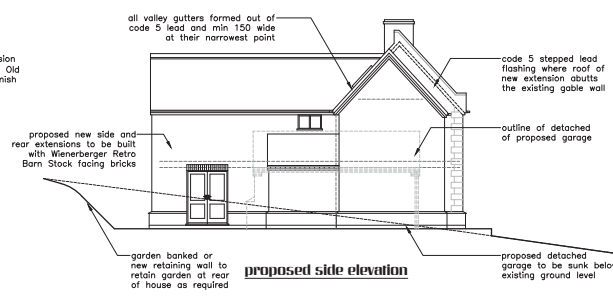
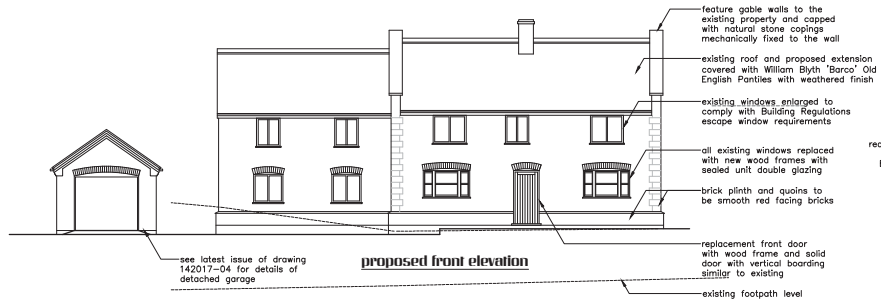
In determining this application, the council, as local planning authority, has taken account of the guidance in paragraph 38 of the National Planning Policy Framework in order to seek to secure sustainable development that improves the economic, social and environmental conditions of the area.



PA/2018/1619

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THIS DRAWING REPRESENTS AN AS MEASURED LAYOUT OF THE EXISTING PREMISES FOR THE SOLE PURPOSE OF INDICATING AN OVERALL SCHEME TO OBTAIN PLANNING PERMISSION. NO DIMENSIONS ARE TO BE SCALED FROM THIS DRAWING - IF IN DOUBT ASK

external facing materials

- 1) all new bricks including quoins and plinth bricks to be Wienerberger Retro Barn Stock facing bricks.
- 2) all external faces of the existing dwelling to be covered with external insulation and finished with smooth self finish polymer render - colour off white.
- 3) all roof tiles to be William Byth 'Barco' Old English Pantiles with weathered finish

all the work indicated on this drawing must comply with Health & Safety CDM 2015 Regulations; further information can be obtained at hse.gov.uk L153

Date	Issue	Description
14/08/18	C	Scheme amended and re-issued for Planning.
08/03/18	B	Planning application issue.
31/01/18	A	Amended front elevation & layout.
08/12/17	O	Pre-application Planning issue.
06/12/17	P1	Information added.
25/08/16	P	Issued for comment.



JD Associates (Design Consultants) Ltd,
 3 St James Road, Brigg, N Lincs. DN20 8DU.
 Tel: 07813 832310 e-mail: design@jdassociates.co.uk

Client
Mr & Mrs K Rowbotham,
 2 Coastguard Properties,
 Slatburn-by-the-Sea, Redcar, TS12 1HG.

Project
Proposed 2 storey extension & detached garage at side of existing dwelling, 61 Main Street, Saxby all Saints, Brigg, N Lincs, DN20 0PZ.
 GA Drawing for Planning application.

Date	September 2017	Scale	1:100	Drawn	AI
142017-01	Issue	P	PI	0	A
		B	C		